

This document is for ALL owners and  
occupiers on the London Estate

# The Grosvenor Specification

A technical guide for  
maintenance, alterations  
and additions to existing  
buildings



GROSVENOR



**Please read this document if you are planning any works to a property, including redecoration, and provide a copy to your appointed contractors.**

**All works must comply with the requirements as set out in this document.**

If you have any queries or require further information, please contact [building.surveying@grosvenor.com](mailto:building.surveying@grosvenor.com)

## GENERAL CONDITIONS

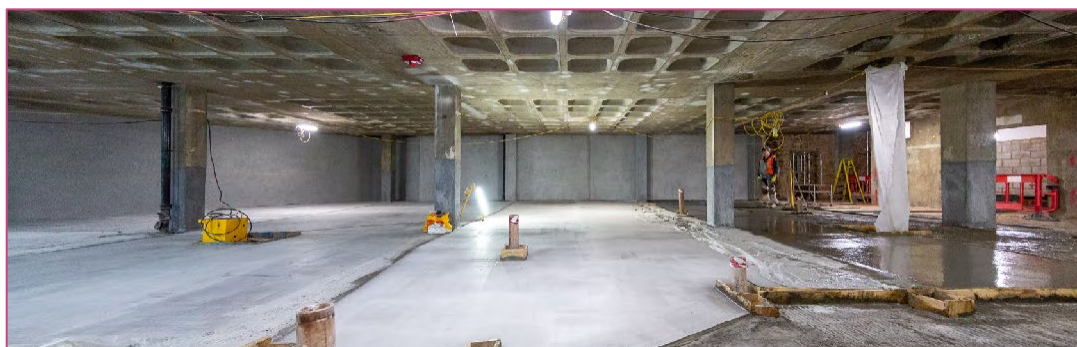
<b>Variations</b>	No variations to this specification will be permitted without written consent first being obtained from Grosvenor's Building Surveying team.
<b>Samples of Materials</b>	In all cases samples of the brick, stone, roofing or other materials proposed to be used for the facing of the building and any other materials which Grosvenor may require, are to be submitted for approval and when approved the materials used in the building are to be of similar quality and appearance.
<b>Generally</b>	It is to be understood that the approval by Grosvenor of any designs, materials or workmanship implies no responsibility on the part of Grosvenor as regards their suitability for the purpose for which they are required, and that any such approval shall in no way detract from the full rights of Grosvenor under the Lease or the Management Scheme for either the Grosvenor Belgravia Estate or the Grosvenor Mayfair Estate.
<b>Approval/Consent of Others</b>	The applicant should also adhere to all requirements of the Local Authority, current British Standards, Building Regulations and where applicable the Building Safety Act/Building Safety Regulator.
<b>Sustainability</b>	<p>In the face of unparalleled environmental change, we are urgently transforming how we develop and manage properties. By committing to challenging environmental goals that redefine climate action in our sector and support the UN Sustainable Development Goals, including goals 8, 10, 11 and 13, we are contributing to a greener, healthier future for all those who rely on our places.</p> <p>Like our business, our ambition is long term; by 2050 we will be a climate positive, regenerative business, actively creating environmental benefits from our activities.</p> <p>Click <a href="#">here</a> to contact us and learn more about how you can help to support our environmental goals or sustainability initiatives.</p>
<b>Protection</b>	<p>Hoardings must be at least 2.4m in height painted in British Standard colour 08B15 and of approved construction and materials. Only statutory notices and 24/7 emergency contact details may be displayed; all other signs, advertisements and posters on hoardings, screens or scaffolds are prohibited.</p> <p>All scaffolds used for building, painting and decorating work access must be fully enclosed with solid white fire-resistant sheeting (opaque imperforate white Monaflex or similar). White debris netting may be approved when only light redecoration works are proposed. Towers must be enclosed with white Monaflex sheeting or similar debris netting.</p>



STRUCTURE	
<b>Structural Design Requirements</b>	Provision is to be made in all design and construction for the differing physical properties of the materials used. All designs must allow for adequate fire protection of the structure. New building structures shall not rely on adjacent buildings for their support nor should they remove any support from adjacent buildings. Due allowance is to be made for predicted changes in the level of the water table.
<b>Fixings to Existing Historic Fabric</b>	Certain historic floor structures such as hollow pot floors, jack arch, timber floors etc will most likely not be suitable for any type of fixing. Fixings to existing historic fabric are to be appropriately designed and installed in accordance with current British Standards. The contractor shall investigate the substrate and undertake appropriate testing to determine its suitability to host the proposed fixings. The contractor shall undertake trial tests and proof testing of structural fixings in existing building elements to verify their performance and compliance with the design requirements. The results of the tests shall be submitted to Grosvenor or their agents for review and approval prior to installation.
<b>Walls</b>	<p>All masonry walls, existing and new built are to be sufficiently restrained at roof and floor levels as per the requirements of the current Building Regulations. The stability of masonry walls needs to be considered at both temporary and permanent conditions following the design requirements of the project engineer and verification (where appointed) by Grosvenor's structural engineer.</p> <p>No existing walls are to be used as party or external walls without written permission. Where properties are to be rebuilt, independent walls complying with the Building Regulations are to be built adjoining the former party walls. All wall ties in external walls are to be of stainless steel and proper horizontal and vertical damp courses are to be formed with approved materials to walls and chimney stacks.</p>
<b>Existing Flues</b>	<p>Flues to be used for gas log/coal effect fires or for other apparatus for which they were not originally designed are to be lined with an approved flue liner, correctly sealed at both ends. Where disused and capped off, flues are to be vented. Existing flues must not be removed or infilled without prior approval. Infill will only be considered for flues entirely within one demise (not flats) that have undergone a soundness check. Any infill must be a loose, insulating, non-combustible, moisture buffering material such as perlite or vermiculite. All efforts must be made to minimise water ingress.</p> <p>NOTE: No structural bearing is to be made into existing flue structures without the prior approval of Grosvenor's Structural Engineer (where appointed).</p>
<b>New Flues</b>	All new chimney flues require the approval of Grosvenor. Flues must be lined with insulating bricks and must be in accordance with the requirements of the Local Authority's Building Control Officer or an Approved Inspector. Smoke, ventilation, exhaust and other pipes run externally are to be encased in brickwork. Boiler flues must not discharge through front or side elevations or within lightwells.



STRUCTURE (cont)	
<b>Existing Openings</b>	Where existing openings are to be infilled in external walls they are to be bricked up solid with compatible materials for the full thickness of the wall, well bonded to the existing, with chills, arches and timber lintels removed.
<b>Trial Pits</b>	Upon request, trial pits to a depth and size determined by the Building Control Officer, Approved Inspector or Grosvenor's structural engineer (where appointed) are to be excavated and reinstated in accordance with current British Standards
<b>Bricks</b>	<p>The best hard burned bricks are to be used, properly constructed in Flemish bond or match adjacent surfaces with the approved facing materials as required for carrying out the approved elevations. Fletton bricks and dense concrete blocks may be used as a backing to facings and for internal partitions but not for external work. Brick samples are to be provided for approval by Grosvenor or their Agents.</p> <p>Brick slips will be considered for rear single storey extensions only. Brick slips must be made utilising reclaimed bricks to match existing. Fixing details and brick slip samples are to be provided for the approval of Grosvenor or their Agents.</p>
<b>Stone</b>	<p>Where stone is to be used, it is to be the best English Portland (façade stonework) or other approved stone properly bonded and tailed into the walling. All cramps, bolts and other fixings used in connection with stonework are to be of a suitable approved material.</p> <p>English Portland stone is to be used for front entrance steps. York stone is to be used for paving within lightwells. In all cases, samples are to be provide for approval by the Grosvenor Building Surveyor or their Agents.</p>
<b>Mortar and Pointing</b>	<p>Existing walls are to be pointed using mortars compatible with the existing materials. The hardness and permeability of the new mortar must match those of the original to prevent damage to the historic masonry. No cementitious renders or mortars are to be applied to historic masonry.</p> <p>The mortar is to be made with hydrated lime and/or with Portland cement and clean washed building sand of a quality and colour and type of pointing approved by Grosvenor. Samples are to be provided for review and approval by the Grosvenor Building Surveyor or their Agents.</p>
<b>Masonry cleaning</b>	Sandblasting of masonry is not permitted. DOFF, Jos or Torc systems may be considered, and any proposals require the prior approval by the Grosvenor Building Surveyor or their Agents. Please note that façade cleaning may also require Listed Building Consent.
<b>Timber</b>	All timber is to be endorsed by the Forestry Stewardship Council or the Programme for the Endorsement of Forest Certification and be sound and well-conditioned, clean, free from injurious shakes, large, loose or dead knots and thoroughly well-seasoned. All hardwoods must be obtained from an ecologically managed source. All structural timber elements need to be protected from rot as per the requirements of the current Building Regulations.
<b>Fire Stopping and Compartmentation</b>	<p>All service penetrations and breaches in fire rated walls and floors (e.g. electrical riser cupboards) are to be fire stopped in a way that maintains both the integrity rating and the insulation rating of the element through which they pass with each stage of work to be recorded by way of photographic evidence.</p> <p>This can best be achieved by using third party certificated contractors and / or members of the Association of Specialist Fire Protection (ASFP) using third party certificated products such as those listed by The Loss Prevention Certificate Board (LPCB). <a href="http://www.redbooklive">www.redbooklive</a></p>



## EXCAVATION AND SUBTERRANEAN WORKS

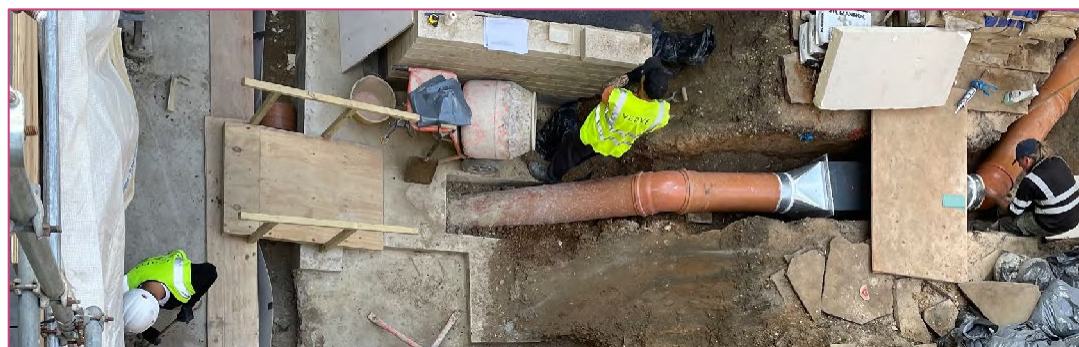
<b>Shoring and Supporting</b>	Any structure or land adjoining or adjacent to the building site is to be shored by approved methods as may be required and supported with concrete, reinforced concrete and brickwork in cement mortar or other approved materials as necessary. The cost of making good any damage caused to the adjoining properties will be borne by the Building Owner.
<b>Underpinning of Adjoining Walls</b>	Where the foundations of walls or buildings may be undermined by adjacent excavations, they should be underpinned. The underpinning shall be executed to the satisfaction of the Local Authority's Building Control Officer, Approved Inspector and Grosvenor's Structural Engineer (where appointed). Special foundations will not be permitted without written consent of Grosvenor or their Agents.
<b>Water in Sub-Soil</b>	The water in the subsoil of the site is, as far as practicable, to be retained thereon and is not to be pumped off the site without the express permission of Grosvenor or their agents.
<b>Ground Stabilisation</b>	<p>Certain types of ground stabilisation techniques are not considered to be appropriate in Mayfair and Belgravia, and the early investigation and assessment of ground conditions is therefore recommended.</p> <p>Jet grouting techniques are unlikely to be acceptable due to the potential damage that may result to adjoining properties. In addition, permeation grouting is considered to be a trespass where this extends onto or under adjoining owners' premises.</p> <p>If all immediately adjoining properties are owned Freehold, then the written consent of the adjoining owner will be required whenever this method is under active consideration. All ground stabilisation processes are to be subject to verification by Grosvenor's retained structural engineers.</p>
<b>Removal of Old Drains</b>	All old drains are to be traced and together with wells and cesspools are to be emptied and removed, any contaminated earth carted away and replaced with approved materials. Where voids occur under foundations they are to be filled with concrete or dealt with as required by the Local Authority's Building Control Officer, Approved Inspector and Grosvenor's Structural Engineer (where appointed).

## VENTILATION

<b>Ventilation to Floors and Roof Spaces</b>	Proper cross ventilation is to be provided to any space under suspended ground floor timber floors, within cold flat roofs and mansard slopes and through roof spaces.
<b>Mechanical Ventilation</b>	Where air tightness is sufficient and a single room mechanical extract unit is proposed, a single room heat recovery ventilation unit should be incorporated.

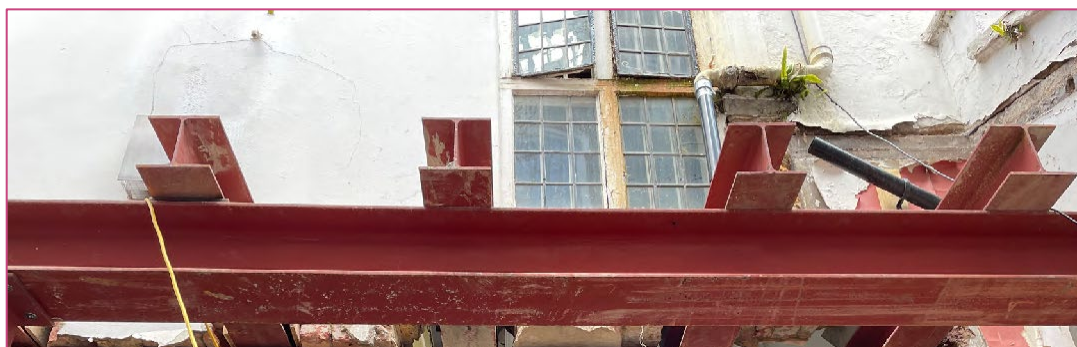


ROOFS	
<b>Slating</b>	Slating is to be the very best Welsh natural slate or other approved and each slate is to be fixed with two suitable non-ferrous nails in accordance with current British Standards. Artificial or reconstituted slates are not to be used without prior approval by the Grosvenor Building Surveyor or their Agents.
<b>Tiling</b>	Tiling is only to be used with written consent. Only suitable non-ferrous nails are to be used. Where valley tiles are used they are to fit the angles of the roofs. Close cut valleys are to be avoided.
<b>Flat Roofs, Gutters and External Plant Housings</b>	<p>The following materials are permitted to be used for the covering of flat roofs and external plant housings.</p> <ol style="list-style-type: none"> <li>1 16 SWG sheet copper to current British Standards.</li> <li>2 Code 5 (minimum) sheet lead to current British Standards</li> <li>3 Gauge No 14 (minimum) sheet zinc to current British Standards.</li> <li>4 Asphalt is to be not less than 20mm in thickness in accordance with BS 6925/1988 and be finished with solar reflective paint. Mastic asphalt is to be laid in accordance with the recommendations of the Mastic Asphalt Council and Employers Federation.</li> <li>5 Single ply/liquid membrane systems may only be used with prior approval from the Grosvenor Building Surveyor or their Agents and where the roof covering is not visible from neighbouring properties and/or street level.</li> </ol> <p>No other materials may be used without prior written consent.</p>
<b>Cover Projections, Flashings and Soakers</b>	Where appropriate, architectural features are to be covered with Code 5 lead to current British Standards, sheet copper in accordance with current British Standards, or other approved waterproofing material. Lead flashings, code 4 for apron and cover flashings, code 5 for stepped cover flashings, and lead soakers, code 3, are to be as described in 'Lead Sheet in Building' published by the Lead Sheet Association.



SERVICES	
<b>Service Installations</b>	Electricity, gas, water and drainage installations are to be put into and left in a good safe state of repair on completion of the works and Test Certificates are to be obtained for new and amended installations. All installations must comply fully with the Approved Code of Practice – “Legionnaire’s disease. The control of Legionella bacteria in water systems.”
<b>Gas Supplies</b>	Any new gas supply to a building must have prior approval by Grosvenor’s Building Surveyor or their Agents.
<b>Boiler Flues</b>	Boiler flues are not generally permitted in front lightwells. Any new boiler flue must terminate at main roof level or be installed to the rear elevation of the property.
<b>Water Supply and Distribution</b>	All branches and fittings shall be controlled by a stop valve, including the rising mains.
<b>Heating and Hot Water Installation</b>	Boiler flues must not discharge through the front or side elevations or within/across light well pavements and the installation must be installed in accordance with the requirements of the appropriate statutory authority. Where boilers are installed in vaults (with prior approval), flues must be provided with a plume kit and be oriented away from the public footpath and not project above adjacent pavement level. All heating systems shall include controls to provide frost protection and a minimum level of heating within the building.
<b>Lifts</b>	The guides, machinery or supports for the working of the lifts are not to be placed in contact with the walls adjoining a neighbouring building and the installation is to be adequately insulated to prevent transmission of any noise and/or vibration.
<b>Electric Light and Power Installation</b>	Heavy gauge galvanised steel screwed conduit systems with easy bends are to be used where cables are concealed within solid floors. PVC, conduit or metal sheathing is to be used where cables are concealed within walls.
<b>Drains</b>	All buildings are to have separate connections to the sewer. All manholes, inspection chambers and access hatches must remain fully accessible at all times during and following completion of the works.
<b>Soil and Waste Pipes, etc</b>	External soil and anti-syphonage pipes, where permitted, are to be constructed from materials complying with Grosvenor’s Approved Materials Matrix (see Appendix 1 to this Specification). All soil and waste pipes are to be kept within the building with connections being kept as short as possible. PVC will be permitted internally if encased in insulating and fire resisting materials. Flexible jointed cast iron piping will be permitted internally only if there is full access available to bolted connections and rodding eyes. Overflow and warning pipes serving water tanks, cisterns, etc must not discharge onto or overhang adjoining properties.





## SERVICES (cont)

<b>Rainwater Pipes and Eaves Gutters</b>	No rainwater pipe is to be built into brick, stone or other walling without express permission. Rainwater pipes and eaves gutters are to be constructed from materials complying with Grosvenor's Approved Materials Matrix (see Appendix 1 to this Specification). All rainwater pipes should be kept clear of walls but must not discharge onto or overhang adjoining properties.
<b>Satellite Dishes</b>	Satellite dishes may only be installed with prior approval from the Grosvenor Building Surveyor or their Agents.
<b>Communications and Data Cabling</b>	The siting of communications cabling on the outside of the demised premises may not be undertaken without the prior approval of Grosvenor or their Agents.
<b>Pipe Ducts</b>	Where practicable all mains are to be collected and carried up and down in fire resisting pipe ducts having access panels/doors to valves etc. The ducts are to be sealed to retain any required fire resistance to all floor levels. Pipes shall only be laid in solid floors if properly ducted.
<b>Mechanical Extract Terminations</b>	Any mechanical ventilation extract points shall exit to the rear of the building or via the roof. The termination must either be a flush mounted cast iron grille plate painted in black gloss finish or terracotta airbrick to match the adjoining surfaces.

## WINDOWS AND DOORS

<b>Window Refurbishment</b>	All crown glass must be retained. Any new glass should be clear float glass current British Standards (unless consented to by Grosvenor or their Agents) with the inner most pane being of low emissivity to reflect heat back into the room (this applies to secondary glazing or primary glazing). Shop fronts shall be safety glass to current Building Regulations. Draught-proofing should be discreet and around all edges. NOTE: The requirements of existing property covenants shall prevail in all cases.
<b>Secondary Glazing</b>	If secondary glazing is being installed, the existing window must not be sealed to allow adequate ventilation within the cavity. The secondary glazing should be well sealed and the insulation run around the reveal between the secondary glazing and primary window. The frame should be installed within the architrave and the window and match the opening configuration of the existing window to minimise visual impact.
<b>New Windows</b>	All window frames, including but not limited to fixed, hinged, and sash and case, due to be glazed in accordance with Grosvenor's Approved Materials Matrix (see Appendix 1) and to current British Standards.  "Astragal" or plant-on glazing bars are not permitted.
<b>Rooflights</b>	Where overlooked or to prevent the upwash of light all rooflights must be glazed with Priva-Lite (or similar) active glass, or have an operable blind.
<b>New Doors</b>	Except in Listed Buildings all new doors must be timber with double seal surrounds. Frames should be thermally broken.





FINISHES	
<b>Plastering</b>	The internal plasterwork is to be not less than two coats and finished in the best manner, walls and partitions being plastered behind skirtings to the full thickness except at basement or ground floor level, where a gap is to be left to provide a break between the d.p.c. and the wall finish. Lightweight and vermiculite-plasters are not to be used on external, basement, ground floor or party walls.
<b>Damp Proofing</b>	<p>Vaults and basements are to be damp proofed by way of an impervious and continuous proprietary cavity membrane system, such as Delta or similar approved. Modifications to this specification to meet particular requirements of individual cases may be considered, but no variations will be permitted without written consent first being obtained from Grosvenor's Building Surveying team.</p> <p>All waterproof tanking, horizontal and vertical damp proof courses are to be provided in accordance with current British Standards.</p>
<b>Flooring on Timber Joists</b>	In Listed Buildings new flooring on timber joists is to be the best quality t & g softwood or hardwood. Elsewhere t & g plywood (marine ply in kitchens, cloakrooms and bathrooms) in accordance with current British Standards, with access panels for services, may be used but chipboard and waferboards are not permitted. Where a building is divided into flats, party floor sound insulation is to be at least to the standard required by the Building Regulations for new construction.
<b>Windows and Doors</b>	Doors, garage doors, window frames, sashes and casements must be of timber, glazed (where appropriate) with clear float glass to current British Standards. Shop fronts shall be safety glass not less than 6mm thick. Glass panels within 1m of the floor are to be glazed with laminated glass. "Up and over" or other forms of sectional opening style garage doors are generally not permitted. Garage doors shall, where possible, be of traditional side hung fenestration and provided with Charles Collinge hinges of a suitable size to suit the garage door dimensions.



<b>Painting</b>	<p>Except in private mews, where pastel or heritage colours may be used (with the prior approval of Grosvenor or their Agents), all previously painted stucco or cement rendering is to be finished to match British Standard Colour BS Ref. 08B15. Grosvenor recommend, but do not insist upon, ICI Dulux Weathershield All Seasons Masonry paint. No paint or staining is to be applied to facing brickwork, stonework or terra-cotta, unless approved by the Grosvenor Building Surveyor or their Agents. Metalwork, ironwork and front doors are to be painted high gloss black (with frames painted, high gloss white) and window joinery high gloss white unless approved otherwise in writing.</p> <p>Grosvenor Gardens only: previously painted areas ONLY as follows and with prior approval:</p> <ul style="list-style-type: none"> <li>– High-level cornice between 3rd and 4th floor levels – Dulux colour reference “Terracotta Extra Deep”</li> <li>– Ground Floor Entrance Portico and adjacent 1st floor level balcony and balustrading – Dulux colour reference: DX – Q4R9P3QS7L (specially mixed)</li> <li>– Banding between 1st and 2nd floor levels – Dulux colour reference: DX – Y3Z3ZKR487 (specially mixed)</li> </ul>
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## SPECIAL REQUIREMENTS – For Directly Managed and FRI Buildings only

The following requirements are stipulated by the building insurers.

<b>Kitchen Extract Systems</b>	<p>Building Engineering Services Association (BESA) publication DW 172: Specification for Kitchen Ventilation Systems is to be followed. The following design guidance is to be incorporated into the kitchen design:</p> <ul style="list-style-type: none"> <li>• Extraction ductwork above the kitchen cooking range to be compliant with BESA ‘Specification for Kitchen Ventilation Systems Specification DW/172’ and take the shortest route possible to the outside.</li> <li>• All ductwork to be manufactured and installed to DW 144 specification for sheet metal ductwork as produced by the Heating &amp; Ventilation Contractors Association (HVCA).</li> <li>• Changes in direction within the ductwork route are to be minimized and access panels are to be installed at maximum 1500mm centres and/or at each change of direction. Access panels must incorporate a ‘quick release’ mechanism and should not be secured by bolts, wing-nuts or similar.</li> <li>• Canopy grease filters (separators) above the cooking range are to be non – combustible baffle or cartridge type and compliant with BESA ‘Specification for Kitchen Ventilation Systems DW/172’.</li> <li>• A gas proving and extraction interlock system to be installed in accordance with BS 6173:2020. An odour impact risk assessment is to be undertaken as detailed within the Emission Monitoring and Air Quality (EMAQ) guidance.</li> </ul>
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<b>Fire Suppression Systems</b>	Suitable fixed fire extinguishing system(s) are to be installed to all commercial kitchen cooking apparatus and their associated extraction system(s) as part of the tenant fit-out. Details must be submitted to the Grosvenor Building Surveyor or their Agents for approval.
<b>Automatic Fire Detection Systems</b>	<p>The automatic fire detection system is to be designed and installed by a fire protection company certified in accordance with one of the following: –</p> <ul style="list-style-type: none"><li>• British Approvals for Fire equipment (BAFE) SP201/LPS1014 scheme: requirements for certificated fire detection and alarm systems.</li><li>• British Approvals for Fire equipment (BAFE) SP203 Modular Scheme for Fire Alarm, Detection and Suppression Systems.</li><li>• Loss Prevention Certification Board/Building Research Establishment (LPCB/BRE) loss prevention standard LPS 1014 requirements for certificated fire detection and alarm systems.</li></ul> <p>Where the installation only element is carried out by a third party i.e., a contractor, the individuals responsible for this aspect of the fire alarm project are to be accredited to a third-party accreditation scheme.</p> <p>The system is to conform to Category P1 or L1 of British Standard 5839-1 Fire Detection and Alarm Systems for Buildings and incorporate monitored remote signalling to a BS EN 50518:2019+A1:2023 approved alarm receiving centre or a constantly attended location onsite.</p>
<b>Existing Fire Compartmentation</b>	<p>For works to existing historic buildings, the contractor shall adhere to the fire compartmentation strategy outlined in the fire risk assessment. If any existing fireproofing is found to be missing or compromised, the contractor shall rectify the issue in accordance with relevant standards or immediately notify Grosvenor for further instruction.</p> <p>Any new penetrations made to existing fire compartments, whether for services or other purposes, must be appropriately fire-stopped to maintain the integrity of the compartmentation. All fire-stopping materials and installations shall comply with relevant British Standards and Approved Document B.</p>

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Date of next review:	01/01/2026





## APPENDIX 1 | APPROVED MATERIALS MATRIX

	Grade I	Grade II*	Grade II	Pre-1945	Post 1945
<b>ROOFS</b>					
Welsh slate	✓	✓	✓	✓	✓
Westmoreland slate (where currently/previously existing)	✓	✓	✓	✓	✓
Canadian Slate (if Welsh unavailable)	X	✓	✓	✓	✓
Clay tiles	X	X	✓	✓	✓
Lead	✓	✓	✓	✓	✓
Copper	✓	✓	✓	✓	✓
Zinc	✓	✓	✓	✓	✓
Asphalt	✓	✓	✓	✓	✓
Single ply/liquid membrane – where not visible – subject to approval	X	X	✓ rear only	✓	✓
Bitumous Felt	X	X	X	X	X
<b>BRICKWORK</b>					
Best facing bricks	X	X	✓	✓	✓
Best quality second hand London stocks	✓	✓	✓	✓	X
Flettons – internal only base backing for render only	X	X	✓	✓	✓
Dense concrete blocks – internal only as backing for render only	X	X	✓	✓	✓
Brick slips – Subject to approval. Reclaimed bricks to match existing	X	X	✓ rear only	✓ rear only	✓
<b>STONE</b>					
English Portland stone (front entrance steps)	✓	✓	✓	✓	✓
York stone (lightwell surface and steps)	✓	✓	✓	✓	✓
Alternative materials – Subject to approval	X	X	✓	✓	✓
<b>STUCCO/RENDER MIX</b>					
To match existing	✓	✓	✓	✓	✓
New epoxy or other proprietary renders – Subject to approval	X	X	X	✓	✓
<b>WINDOWS &amp; SKYLIGHTS</b>					
Timber	✓	✓	✓	✓	✓
Crittall steel – Only where currently/previously existing	X	✓	✓	✓	✓
Aluminium – subject to specific approval	X	X	✓ rear only	✓	✓
uPVC	X	X	X	X	X



	Grade I	Grade II*	Grade II	Pre-1945	Post 1945
<b>DOORS</b>					
Timber	✓	✓	✓	✓	✓
Critical steel – where currently/previously existing	X	✓	✓	✓	✓
Aluminium – Subject to approval	X	X	X	✓	✓
Composite – Subject to approval. Grained effect/hand finished only.	X	X	✓	✓	✓
uPVC	X	X	X	X	X
<b>GLAZING</b>					
Single pane clear float glass	✓	✓	✓	✓	✓
Double glazed heritage style slim system (18mm)	X	X	✓	✓	✓
Double glazed units	X	X	✓ rear only	✓	✓
Georgian wired glass	X	X	X	X	X
Obscured glass – Subject to approval. Not principal elevations *	X	X	✓	✓	✓
Security/acoustic glass – Subject to approval	X	X	✓	✓	✓
Privalite (or similar)	X	✓	✓	✓	✓
Polycarbonate rooflights	X	X	X	✓	✓
Secondary glazing	✓	✓	✓	✓	✓
Manifestations/window film. Subject to approval. Retail units only.	X	X	X	X	X
<b>EXTERNAL PLANTING</b>					
Natural plants – window boxes to ground and 1st floors only	✓	✓	✓	✓	✓
Green walls – Subject to approval.	✓	✓	✓	✓	✓
Imitation/faux planting	X	X	X	X	X
<b>PIPEWORK</b>					
Soil – Cast iron LCC pattern	✓	✓	✓	✓	✓
Soil and RWPs – Cast iron (Time saver heritage) – rear elevation only	X	X	X	✓	✓
RWPs & RWGs – Cast iron	✓	✓	✓	✓	✓
RWPs & RWGs – Cast aluminium	✓	✓	✓	✓	✓
RWPs & RWGs – Black uPVC – rear elevations only	X	X	X	✓	✓

